



**CONDITION SURVEY REPORT  
3892 HIGHWAY 26 - DRAINAGE DITCH IMPROVEMENT  
AGREEMENT NO. 2013-E-0039  
TOWN OF EDENVALE, ONTARIO  
FOR  
MINISTRY OF TRANSPORTATION**



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PML Ref.: 14TF007  
Index No.: 017CSR  
GEOCRES No.: 31D-579  
September 16, 2014

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Mr. Tyrone Lowe, P.Eng  
Project Soils Engineer  
Geotechnical Engineering Section – Central Region Engineering Office  
Ministry of Transportation, Ontario  
5<sup>th</sup> Floor, Building D  
1201 Wilson Avenue  
Downsview ON M3M 1J8

Dear Mr. Lowe

**Condition Survey Report**  
**Highway 26 – Edenvale, 3892 Highway 26,**  
**Personal Residence and Detached Structures**  
**Agreement No. 2013-E-0039**  
**Edenvale, Ontario**

### **Introduction**

Peto MacCallum Ltd. (PML) has completed a condition survey for the existing building and site elements of the property located at the above-noted address.

The condition survey was authorized by Mr. Tyrone Lowe, P.Eng, Geotechnical Engineering Section – Central Region Engineering Office of Ministry of Transportation, Ontario. The field work was conducted on Tuesday May 06, 2014. The weather was mainly clear and sunny, and mild.

The purpose of the survey is to review and visually examine the condition of the various buildings and site components and report to the client. The scope of the survey was limited to the exterior of the buildings and all the interior horizontal and vertical surfaces, driveway/paved area, curbs, and walkways where applicable and visible. Also surveyed were the grounds adjacent the Residence Building, the Garage Building, and Other Structures, Site Works and Landscaping located to the north, south, east and west of the residence and garage.



## **Limitations**

This report is limited in scope to only those components that were visually accessible and specifically referenced in this report. Our scope of engineering services did not include the following items:

- Destructive testing, test cuts of materials and advanced instrumental imaging
- Review of the buried site services components
- Environmental audit for hazardous materials
- Recommendations for repair or replacement of noted deficiencies
- Review with respect to adequacy of design and/or compliance with the codes requirements, regulations and by-laws

Peto MacCallum Ltd. therefore cannot assume responsibility for any inherent or hidden conditions that would have required these investigative techniques to discover.

## **Observations**

The following provides a brief description of the various elements/components. The observations in this section are noted in general terms. The details and locations of observed defects/deterioration and deficiency details accompanied by photographic documentation are included in Appendices A, B and C.

The surveyed property is located on the north side of Highway 26 immediately west of the Nottawasaga River Crossing. The storm water drainage ditch owned by the Ministry of Transportation (MTO) runs east-west north of the Residence and Garage Building, draining into the Nottawasaga River.

The subject property surveyed consists of the following: a 1-storey Residential Building with a basement level, a Garage Building, and Other Structures, Site Works, and Landscaping (including



a Storage Building, an Outhouse Building, and a Storage Shed, as well as asphalt pavement). There are no basement levels at any of the structures surveyed except at the residential building.

### **Residence Building**

The Residence Building is approximately 40 years old and was constructed in the early 1970's according to the Owner. Its structure is a 1-storey bungalow with a walkout basement level. The building is of concrete block masonry construction (including the foundation walls) with a mixture of plaster and drywall walls, and drywall ceilings that are predominantly painted and covered with wallpaper. The flooring is mainly of vinyl sheet flooring, vinyl tiles and carpet in the various rooms including the kitchen and bathrooms. The south, part-east and west elevations of the residence are covered in siding. The north elevation is exposed concrete block masonry with no finish. The roof is a sloped, hip-style shingle roof. The wood porch runs almost the full length of the south elevation at the main entrance.

The basement level is unfinished with exposed concrete block foundation walls, exposed wood framing structure, and concrete slab-on-grade.

The main floor level and the basement level of the residence can generally be considered to be in fair condition.

The following was observed:

- Aged and deteriorated concrete slab-on-grade pads with extensive surface spalling and cracking at residence exterior, typical
- Damaged wall siding at east and west building elevations, typical
- Aged and deteriorated window caulking, typical
- Deteriorated and peeling/blistering paint at wooden windows, typical
- Aged and deteriorated wood decking & guardrail at the front deck/porch areas, south elevation
- Aged and weather worn unpainted wooden platform at the side door, west elevation
- Repaired/replaced window lintels at north elevation, typical





- Concrete block wall step cracks at various locations along north elevation, typical
- Concrete block wall cracking at chimney along east side and inside corner joint cracking at east elevation, typical
- Differential settlement of interlocking unit pavers and landscaping adjacent east elevation, typical
- Concrete block wall moisture staining and efflorescence salty stains at the north, south, east and west foundation walls at the basement , typical
- Concrete block wall step cracking noted on all basement level walls, typical
- Cracking of concrete slab-on-grade various basement level locations, typical
- Residence basement level east wall – unsealed wall penetration through concrete block
- Residence basement level west wall – concrete block wall joint cracking at beam pocket
- Cracked drywall above south corner of hallway exterior door at Main Floor
- Popped drywall ceiling nails at north side of northwest bedroom at Main Floor
- Cracked drywall ceiling at northwest bedroom at Main Floor
- Peeling joint seam of the kitchen vinyl sheet flooring at Main Floor
- Cracked drywall above door leading to entrance vestibule from family room at main floor level
- Cracked drywall ceiling at the east bedroom at Main Floor, typical
- Peeling wallpaper at the north and east ceiling areas soffit of the east bedroom at Main Floor
- Moisture stained wooden window frame at the west wall of the Office at the Main Floor
- Moisture stained wood wall panelling at the west wall of the Office at the Main Floor
- Peeling joint seam of the vinyl sheet flooring along the north wall of the Main Floor Office

### **Garage Building**

The Garage Building is a 1-storey concrete block building, no basement level, concrete slab-on-grade, and a wood frame, sloped roof structure with an attic loft. The main part of the building (south part) appears to be the original structure that was constructed in 1958 (is approximately 56 years old according to the Owner) and consists of exposed concrete block with metal siding at the



attic level of the gables. The rear part of the structure (north part) appears to be an addition that is completely covered in metal siding (the north, east and west elevations). The garage structure does not appear to be insulated.

Overall, the Garage Building can be generally considered to be in fair-to-poor condition.

The following was observed:

- Unpainted concrete block wall step cracks, typical - South Elevation
- Aged and deteriorated slab on grade - South Elevation
- Groaned tree through slab on grade - South Elevation
- Missing ridge end cover of roof panels system - East and West Elevations
- Unpainted concrete block wall step cracks, typical - West Elevation
- Aged and deteriorated windows wooden frames with aged and peeled paint - West Elevation
- Aged and deteriorated slab on grade, typical - West Elevation
- Broken storm water gutter - total lost on ground - North Elevation
- Unpainted concrete block wall step cracks, typical - East Elevation
- Peeled paint of windows wooden frames, typical - East Elevation
- Unpainted concrete block wall step cracks, typical - North wall of Front Workshop
- Continued wall and slab-on-grade cracks at eastside wall bracing – North wall of Front Workshop
- Unpainted concrete block wall step cracks, typical – East wall of Front Workshop
- Unpainted slab-on-grade various cracks, typical – West wall of Front Workshop

### **Other Structures, Site Works, and Landscaping**

The Storage Shed located near the northwest corner of the property is of simple wood construction, with vinyl siding, a gable roof with metal panels, situated on a concrete slab-on-grade. This structure was recently constructed.

Overall, the Storage Building can be generally considered to be in fair-to-good condition, except for the loose metal roof panels noted elsewhere in this report.



The following was observed:

- Missing ridge end covers of roof system at east and west ends of gable, typical
- Missing nails/fasteners at metal roof panels, typical

The Outhouse Building is located at the northwest corner of the property adjacent the drainage ditch. The building is of simple wood construction, with a single slope metal roof and wood flooring. The structure is aged and weather worn.

Overall, the Outhouse Building can be generally considered to be in poor condition.

The following was observed:

- Aged and weather worn wood construction and paint finish, typical

There is also a small Storage Shed located to the south of the main residence along the drainage ditch of simple wood construction, a wood deck, double-barn type doors. and a slope shed roof. The structure appears to be resting on the ground.

Overall, the Storage Shed can be generally considered to be in good condition.

The following was observed:

- No discernable deterioration was noted

The asphalt pavement at the south side of the property is generally weather worn and bleached by the sun. Minor deterioration was noted at various and somewhat isolated locations. driveway is deteriorated in some areas with rutting, alligator cracking and can be considered to be in excepted condition; with two 4m x 6m repair patches.

The asphalt pavement can be considered to be generally in fair-to-good condition.

The following was observed:

- Two asphalt pavement patches were noted generally in the areas south of the Garage Building



- Some holes and asphalt pavement cracking noted near the two repair patches
- A granular/unpaved driveway is located along the rear portion of the property along the west property line leading to the adjacent properties to the north
- A parking area located adjacent and east of the residence is covered in a recycled/crushed, granular material
- Cracking of asphalt pavement noted at various location, typical
- Minor settlement and water ponding staining on the south side of the small asphalt patch/repair
- Extensive cracking and some alligator cracking of asphalt pavement at the west end
- Missing and dislodged railing pieces from the wooden fence at the east parking area
- Cracking of concrete curb including scuff marks and impact damage at boulevard island, typical
- Cracking of concrete slab-on-grade pad south of the west overhead door to the garage building, typical
- Concrete block joint cracking at planter box including loose and cracking grout coping along south building elevation, typical

No other observations were made.

## **Appendices**

A large number of photographs have been included in the attached Appendices A, B and C.

The photographs are captioned with a brief description and an approximate location.

## **Closure**

Mr. J. Harissis, C.E.T., MAATO carried out the field investigation for this study under the supervision of Mr. T. Knezeh, MEng, P.Eng.

This Condition Survey Report was prepared by Mr. J. Harissis, C.E.T., MAATO, and reviewed by Mr. T. Knezeh, MEng, P.Eng. Mr. C.M.P. Nascimento, P.Eng., MTO Designated Principal Contact conducted a quality review of the report.



This Condition Survey Report was prepared by Mr. J. Harissis, C.E.T., MAATO, and reviewed by Mr. T. Knezeh, MEng, P.Eng. Mr. C.M.P. Nascimento, P.Eng., MTO Designated Principal Contact conducted a quality review of the report.

We trust that this report has been completed in accordance with the agreed on Scope of Work. Should you require any additional information, please do not hesitate to contact this office.

Sincerely

Peto MacCallum Ltd.

A handwritten signature in blue ink, reading "John Harissis", is positioned above the printed name.

John Harissis, C.E.T., MAATO  
Senior Engineering Technologist  
Building Science Services



Tony Knezeh, MEng, P.Eng.  
Senior Consultant  
Manager, Building Science Services



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Project Manager and  
MTO Designated Principal Contact

JH/TK/CN:nk

Enclosures:

- Appendix A – Photographs 1 to 56 for Residence Building
- Appendix B – Photographs 1 to 58 for Garage Building
- Appendix C – Photographs 1 to 42 for Other Structures, Site Works and Landscaping
- Appendix D – Photograph Locations of Appendix C



## **APPENDIX A**

Photographs 1 to 56 for Residence Building



**Photograph 1:** General view for 3892 Highway 26 showing south elevation.



**Photograph 2:** South elevation of residence building located at 3892 Highway 26.





**Photograph 3:** Residence south elevation – impact damaged to siding and cracking slab-on-grade concrete at west end.



**Photograph 4:** Residence south elevation – Aged and deteriorated windows caulking, typical.





**Photograph 5:** Residence south elevation – Aged and deteriorated wood porch decking, typical.



**Photograph 6:** Residence south elevation – Aged and weather worn paint with peeling/blistering at wooden windows, typical.





**Photograph 7:** Residence south elevation – nail holes on siding at east end.



**Photograph 8:** Residence south elevation – aged and deteriorated pressure treated wood porch decking and guardrail, typical.



**Photograph 9:** Residence west elevation – located at 3892 Highway 26.



**Photograph 10:** Residence West elevation – severely deteriorated slab-on-grade concrete with extensive cracking, typical.





**Photograph 11:** Residence west elevation – Aged and weather worn wood platform & cracked slab-on-grade concrete with surface spalling, typical.



**Photograph 12:** Residence north elevation – located at 3892 Highway 26.



**Photograph 13:** Residence north elevation – Basement window paint peeling/blistering, also repaired window lintel and wall cracks near west end, typical.



**Photograph 14:** Residence north elevation – Basement and main floor concrete block step cracking, typical.





**Photograph 15:** Residence north elevation – soffit paint peeling, repaired window lintels, typical.



**Photograph 16:** Residence north elevation – Basement window paint peeling/blistering, also repaired window lintel and wall cracks near east end, typical.



**Photograph 17:** Residence north elevation – Basement and main floor concrete block step cracking near east end, typical.



**Photograph 18:** Residence north elevation – repaired wall step cracks at east end.





**Photograph 19:** Residence north elevation – cracked concrete block at soffit.



**Photograph 20:** Residence east elevation – located at 3892 Highway 26.





**Photograph 21:** Residence east elevation – concrete block wall step cracking at north end of basement lintel door frame.



**Photograph 22:** Residence east elevation – concrete block wall joint cracking at chimney at basement level, typical.



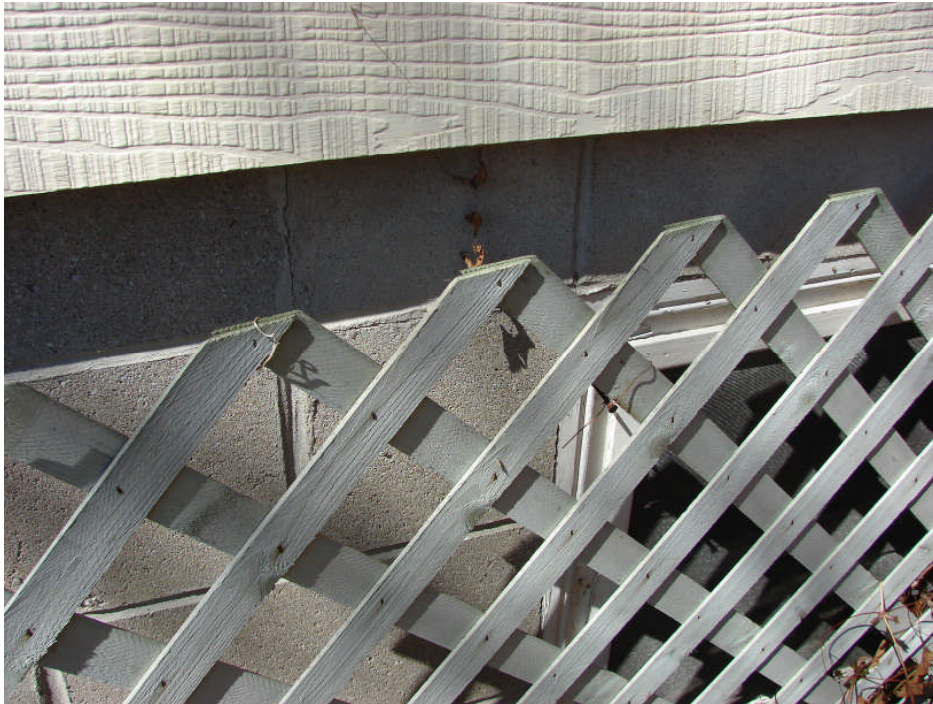


**Photograph 23:** Residence East elevation – concrete block cracks along east face of chimney.



**Photograph 24:** Residence east elevation – differential settlement of interlocking unit pavers at landscaped areas, typical.





**Photograph 25:** Residence east elevation – concrete block wall step cracks near south end of the basement level, typical.



**Photograph 26:** Residence basement level north wall – moisture stain and efflorescence at the concrete block wall at west corner.



**Photograph 27:** Residence basement level north wall – moisture staining and efflorescence at the concrete block wall near west corner.



**Photograph 28:** Residence basement level north wall – concrete block step cracking and taped window perimeter, typical.





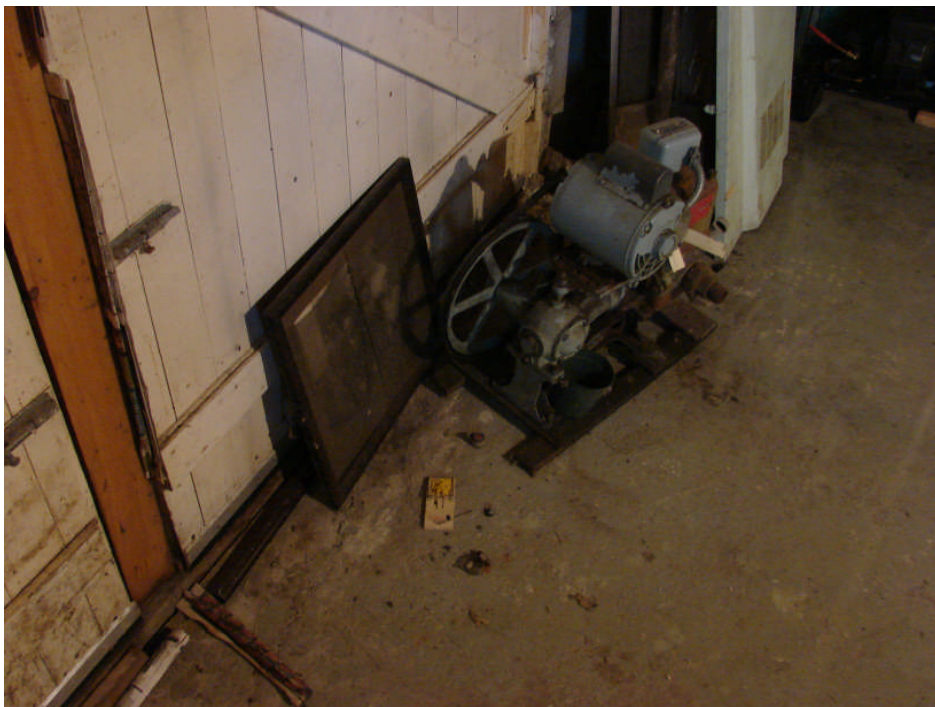
**Photograph 29:** Residence basement level north wall – concrete block step cracking west window, typical.



**Photograph 30:** Residence basement level east wall – unsealed wall penetration through concrete block.



**Photograph 31:** Residence basement level east wall – concrete block step cracking on north side of external door.



**Photograph 32:** Residence basement level east wall – water staining at external door step.





**Photograph 33:** Residence basement level east wall – concrete block step cracking, typical.



**Photograph 34:** Residence basement level east wall – moisture staining and efflorescence behind heating system.



**Photograph 35:** Residence basement level east wall – concrete block wall step cracking under north window, typical.



**Photograph 36:** Residence basement level east wall – concrete block wall step cracking under south window, typical.





**Photograph 37:** Residence basement level south wall – concrete block wall step cracking near east end, typical.



**Photograph 38:** Residence basement level south wall – extensive efflorescence and wall pitting of concrete block, typical.



**Photograph 39:** Residence basement level south wall – extensive efflorescence and wall pitting of concrete block, typical.



**Photograph 40:** Residence basement level west wall – moisture staining and efflorescence adjacent water heater, typical.





**Photograph 41:** Residence basement level west wall – concrete block wall step cracking near north end, typical.



**Photograph 42:** Residence basement level west wall – concrete block wall joint cracking at beam pocket.



**Photograph 43:** Residence basement level – painted concrete slab-on-grade cracks, typical.



**Photograph 44:** Residence basement level – painted concrete slab-on-grade cracks, typical.





**Photograph 45:** Residence basement level – painted concrete slab-on-grade cracks, typical.



**Photograph 46:** Residence main floor level – drywall crack above south corner of hallway exterior door.



**Photograph 47:** Residence main floor level – ceiling drywall popped nails at north end of northwest bedroom.



**Photograph 48:** Residence main floor level – moulding joint cracks at northeast corner of northwest bedroom, typical.



**Photograph 49:** Residence main floor level– open seam at vinyl sheet flooring at kitchen, typical.

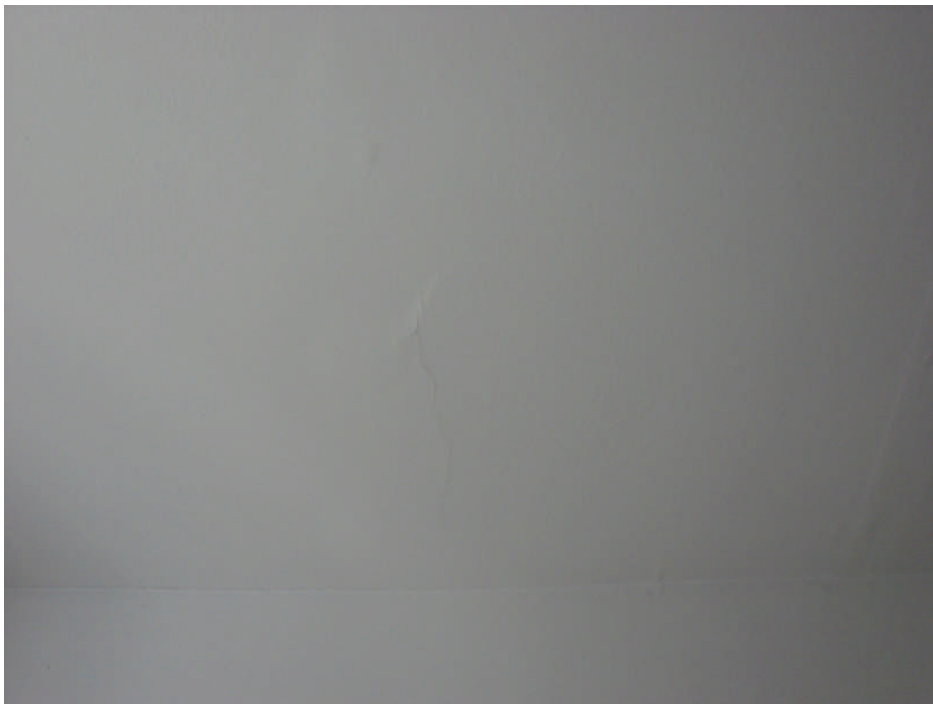


**Photograph 50:** Residence main floor level – drywall crack above door at family room to entrance vestibule.





**Photograph 51:** Residence main floor level – vinyl sheet flooring / open seam along baseboard at centre bedroom on north side, typical.



**Photograph 52:** Residence main floor level – extensive drywall ceiling cracks at northeast bedroom, typical.





**Photograph 53:** Residence main floor level – wall paper peeling at northwest corner of northeast bedroom.



**Photograph 54:** Residence main floor level – moisture staining at window at west wall at office.



**Photograph 55:** Residence main floor level – moisture staining of wood panelling below west window at office.



**Photograph 56:** Residence main floor level – open seam at vinyl sheet flooring along north baseboard.



## **APPENDIX B**

Photographs 1 to 58 for Garage Building





**Photograph 1:** General view for 3892 Highway 26 showing south elevation.



**Photograph 2:** Garage Building south elevation located at 3892 Highway 26.



**Photograph 3:** Garage Building south elevation – concrete block wall step cracking at west end adjacent overhead door, typical.



**Photograph 4:** Garage Building south elevation – concrete block wall step cracking at west end adjacent overhead door, typical.





**Photograph 5:** Garage Building south elevation – concrete slab-on-grade cracking at east overhead door, typical.



**Photograph 6:** Garage Building south elevation – vegetation growth through concrete slab-on-grade at east overhead door.



**Photograph 7:** Garage Building south elevation –concrete block wall step cracking between overhead doors, typical.



**Photograph 8:** Garage Building south elevation – concrete block wall step cracking at east end, typical.





**Photograph 9:** Garage Building west elevation (south portion) located at 3892 Highway 26.



**Photograph 10:** Garage Building west elevation – missing ridge end cover at west side of metal roof, typical.



**Photograph 11:** Garage Building west elevation – concrete block wall step cracking at south end, typical.



**Photograph 12:** Garage Building west elevation – concrete block wall step cracking above south window at south end, typical.





**Photograph 13:** Garage Building west elevation – concrete block wall step cracking below south window, typical.



**Photograph 14:** Garage Building west elevation – concrete block wall step cracking above north end of south window, typical.





**Photograph 15:** Garage Building west elevation – concrete block wall step cracking above south end of south window, typical.



**Photograph 16:** Garage Building west elevation – concrete block wall step cracking between door and north gate, typical.



**Photograph 17:** Garage Building west elevation – concrete block wall step cracking near door on north side, typical.



**Photograph 18:** Garage Building west elevation – windows paint aged and deteriorated with extensive peel/blistering, typical.





**Photograph 19:** Garage Building west elevation (north portion) located at 3892 Highway 26.



**Photograph 20:** Garage Building west elevation – extensive deterioration of concrete slab-on-grade with severe surface spalling, typical.





**Photograph 21:** Garage Building west elevation – deterioration of concrete slab-on-grade with surface spalling and differential settlement, typical.



**Photograph 22:** Garage Building north elevation located at 3892 Highway 26.



**Photograph 23:** Garage Building north elevation – damaged eavestrough resting on ground.



**Photograph 24:** Garage Building north elevation – missing rainwater gutter.





**Photograph 25:** Garage Building east elevation (north part) located at 3892 Highway 26.



**Photograph 26:** Garage Building east elevation (north part) – concrete block wall step cracking near oil tank, typical.





**Photograph 27:** Garage Building east elevation (north part) – aged and deteriorated window paint with peeling/blistering paint, typical



**Photograph 28:** Garage Building east elevation (south part) located at 3892 Highway 26.



**Photograph 29:** Garage Building west elevation – missing ridge end cover at east side of metal roof, typical.



**Photograph 30:** Garage Building east elevation (south part) – concrete block wall step cracking near door, typical.





**Photograph 31:** Garage Building east elevation (south part) – severely deteriorated and breaking concrete door threshold, typical.

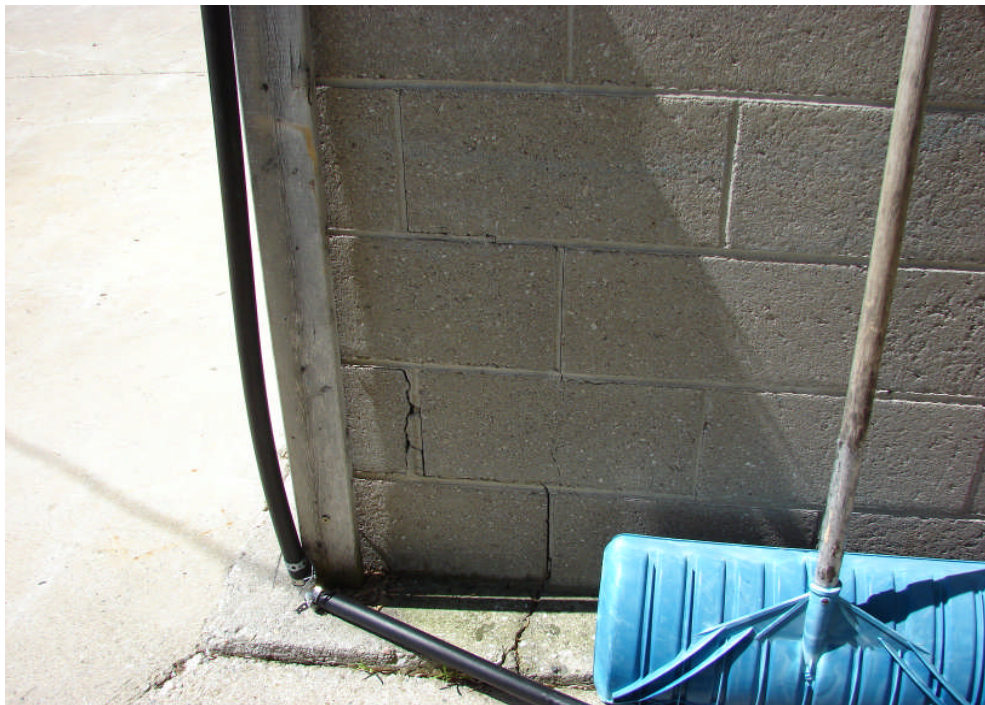


**Photograph 32:** Garage Building east elevation (south part) – concrete block wall step cracking at door lintel, typical.





**Photograph 33:** Garage Building east elevation (south part) – concrete block wall step cracking above door, typical.



**Photograph 34:** Garage Building east elevation (south part) – concrete block wall step cracking south end, typical.





**Photograph 35:** Garage Building – unpainted concrete slab-on-grade cracking, typical.



**Photograph 36:** Garage Building north wall – concrete block wall step cracking near west end, typical.



**Photograph 37:** Garage Building north wall – concrete block wall step cracking near west end, typical.



**Photograph 38:** Garage Building north wall – concrete block wall step cracking on east side of door, typical.





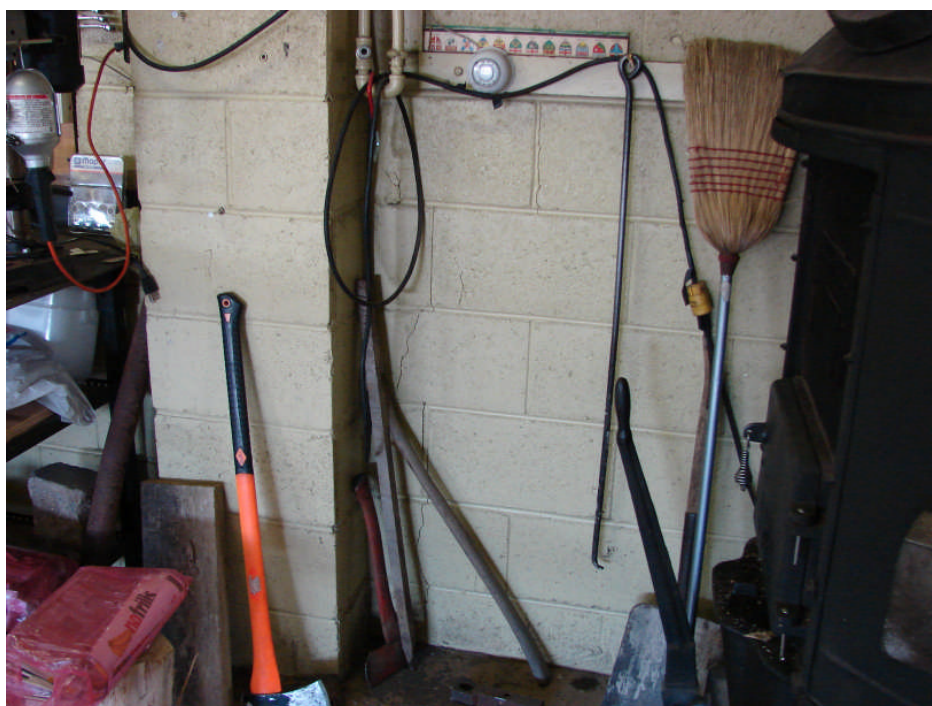
**Photograph 39:** Garage Building north wall – concrete block wall step cracking near west concrete block pier, typical.



**Photograph 40:** Garage Building north wall – continued wall and slab cracks at east concrete block pier, typical.

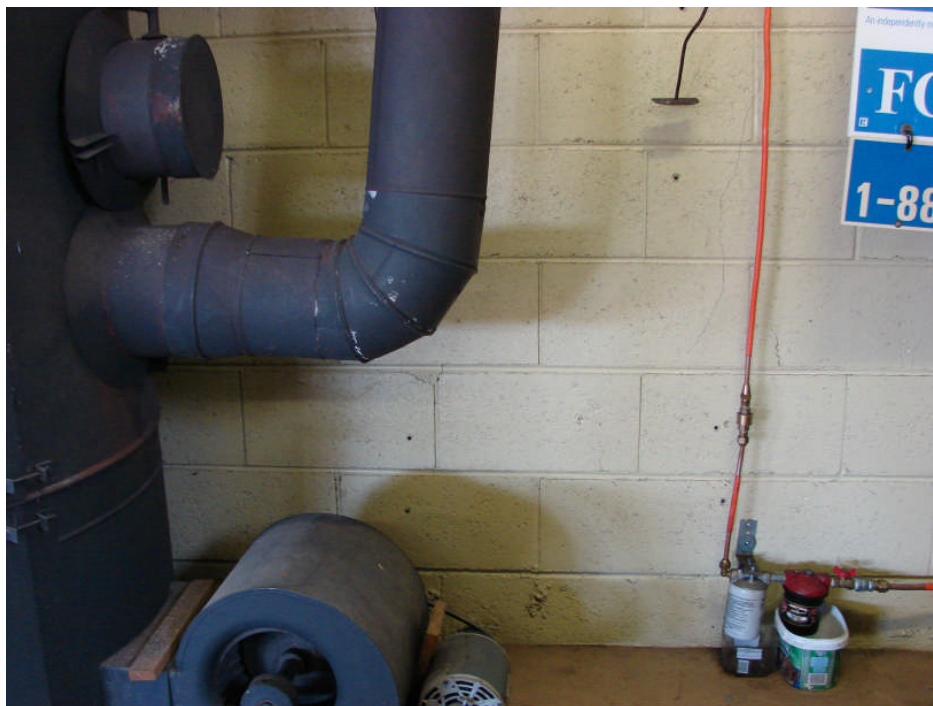


**Photograph 41:** Garage Building north wall – concrete block wall step cracking near east end, typical.



**Photograph 42:** Garage Building north wall – concrete block wall step cracking near east end adjacent wood stove, typical.





**Photograph 43:** Garage Building north wall – concrete block wall step cracking near east end adjacent wood stove, typical.



**Photograph 44:** Garage Building north wall – concrete block wall step cracking at east end, typical.



**Photograph 45:** Garage Building east wall – concrete block wall step cracking at north end, typical.

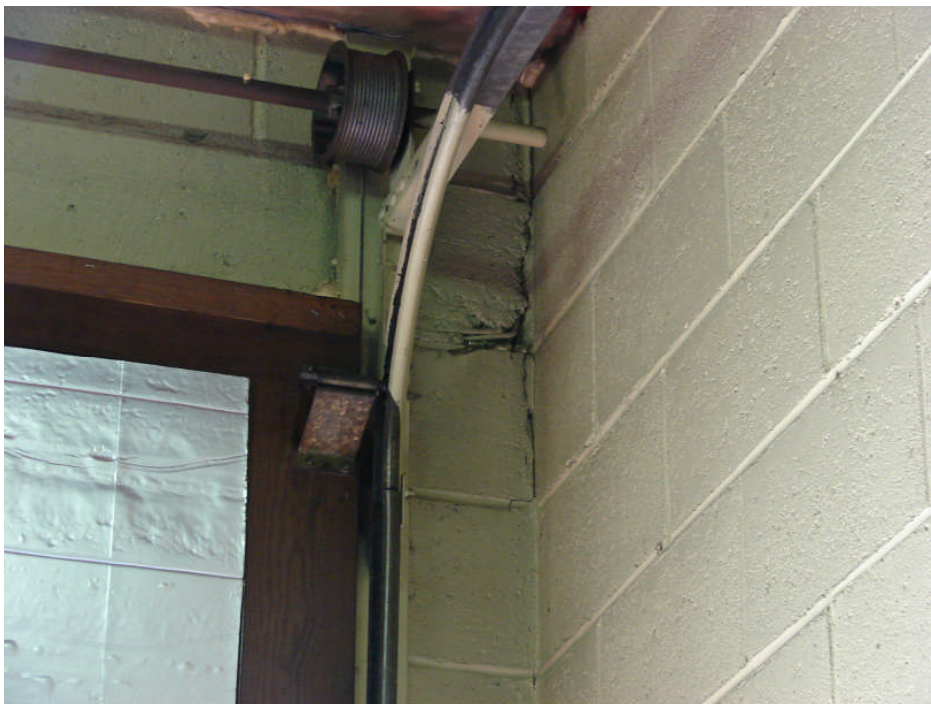


**Photograph 46:** Garage Building east wall – concrete block wall step cracking above exterior door, typical.





**Photograph 47:** Garage Building east wall – concrete block wall step cracking at south end, typical.



**Photograph 48:** Garage Building south wall – concrete block wall step cracking at west end adjacent overhead door, typical.



**Photograph 49:** Garage Building west wall – concrete block wall step cracking at south end, typical.



**Photograph 50:** Garage Building west wall – concrete block wall step cracking at south end of north window, typical.





**Photograph 51:** Garage Building west wall – concrete block wall step cracking at door near north end, typical.



**Photograph 52:** Garage Building west wall – concrete block wall step cracking above electrical panel at north end, typical.



**Photograph 53:** Garage Building – unpainted concrete slab-on-grade central areas cracks, typical.



**Photograph 54:** Garage Building rear workshop south wall – Same wall step cracking appears on this side of the wall as the north wall of the main garage, typical.





**Photograph 55:** Garage Building rear workshop – plywood wall cladding conceals the main structure.



**Photograph 56:** Garage Building rear workshop – office southwest corner wall cracks.



**Photograph 57:** Garage Building rear workshop south wall – wall step cracking below wall openings, typical.



**Photograph 58:** Garage Building rear workshop - unpainted concrete slab-on-grade with minor cracks, typical.





## **APPENDIX C**

Photographs 1 to 42 for Other Structures, Site Works and Landscaping



**Photograph 1:** General view for 3892 Highway 26 showing south elevation.



**Photograph 2:** Other Structures Storage Building – north and west elevations.





**Photograph 3:** Other Structures Storage Building – west elevation with barn style doors.



**Photograph 4:** Other Structures Storage Building - roof ridge missing end cap at west end, typical.



**Photograph 5:** Other Structures Storage Building – south elevation.



**Photograph 6:** Other Structures Storage Building – loose metal roof panels missing fasteners, typical.





**Photograph 7:** Other Structures Storage Building – east elevation.



**Photograph 8:** Other Structures Storage Building - roof ridge missing end cap at east end, typical.





**Photograph 9:** Other Structures Storage Building – south elevation.



**Photograph 10:** Site Works – granular driveway at west side of the property leading to adjacent properties to the north.





**Photograph 11:** Site Works – general view along south side of drainage ditch at west end looking east, typical.



**Photograph 12:** Site Works – general view along south side of drainage ditch near west end looking west, typical.





**Photograph 13:** Site Works – general view along south side of drainage ditch near residence looking east, with extensive soil erosion, typical.



**Photograph 14:** Other Structures Storage Shed – south and east elevations.





**Photograph 15:** Site Works – general view along south side of drainage ditch near residence looking west, with extensive soil erosion, typical.



**Photograph 16:** Site Works – general view along drainage ditch east of residence looking east towards Nottawasaga River.





**Photograph 17:** Site Works – general view along drainage ditch at west end looking east towards Nottawasaga River.



**Photograph 18:** Site Works – looking west towards residence east elevation. Note elevation change between roadway and backyard.





**Photograph 19:** Site Works – looking west towards residence east elevation from the Nottawasaga River.



**Photograph 20:** Site Works – general view along drainage ditch near west end looking east towards Nottawasaga River.





**Photograph 21:** Site Works – asphalt pavement areas looking east from west end, typical.



**Photograph 22:** Site Works – cracking of asphalt pavement along Highway 26 near entrance, typical.





**Photograph 23:** Site Works – hole in the asphalt pavement near the large asphalt patch/repair.



**Photograph 24:** Site Works – cracking of asphalt pavement adjacent the large asphalt patch/repair.





**Photograph 25:** Site Works – hole in the asphalt pavement near the large asphalt patch/repair.



**Photograph 26:** Site Works – hole in the asphalt pavement and cracking near the large asphalt patch/repair.





**Photograph 27:** Site Works – small asphalt patch/repair in southeast of the garage building.



**Photograph 28:** Site Works – hole in the asphalt pavement near the small asphalt patch/repair.





**Photograph 29:** Site Works – minor settlement and water ponding staining on the south side of the small asphalt patch/repair.



**Photograph 30:** Site Works – extensive cracking and some alligator cracking of asphalt pavement at the west end.





**Photograph 31:** Site Works – cracking of concrete curb including scuff marks and impact damage at boulevard island, typical.



**Photograph 32:** Site Works – cracking of concrete curb including scuff marks and impact damage at boulevard island, typical.





**Photograph 33:** Site Works – cracking of concrete curb including scuff marks and impact damage at boulevard island, typical.



**Photograph 34:** Site Works – cracking of concrete slab-on-grade pad south of the west overhead door to the garage building, typical.





**Photograph 35:** Site Works – cracking of concrete slab-on-grade pad south of the east overhead door to the garage building, typical.



**Photograph 36:** Site Works – cracking of concrete slab-on-grade pad south of the east overhead door to the garage building, typical.





**Photograph 37:** Site Works – granular surface at fenced storage area near west side of property.



**Photograph 38:** Site Works - chain-link fence at storage area near west side of property appears to be in good condition.





**Photograph 39:** Site Works – recycled granular material at parking area near east end of property adjacent residence.



**Photograph 40:** Site Works – concrete block joint cracking at planter box including loose and cracking grout coping along south building elevation, typical.





**Photograph 41:** Site Works – concrete block joint cracking at planter box including loose and cracking grout coping along south building elevation, typical.



**Photograph 42:** Site Works – concrete block joint cracking at planter box including loose and cracking grout coping along south building elevation, typical.



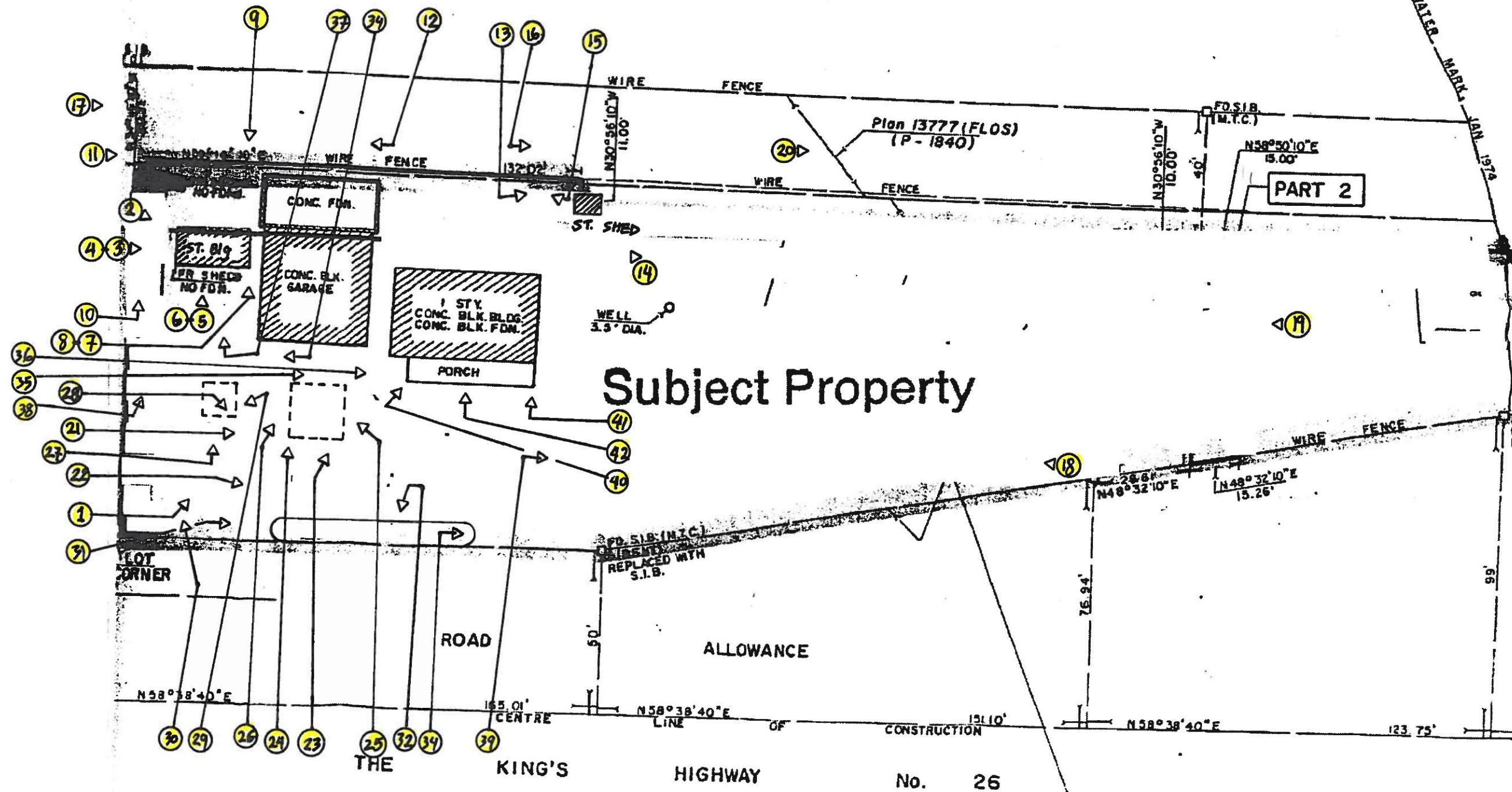


## **APPENDIX D**

Photograph Locations of Appendix C

PML Ref.: 14TF007

APPENDIX D - PHOTOGRAPH LOCATIONS FOR APPENDIX C  
OTHER STRUCTURES, SITE WORKS AND LANDSCAPING



SITE PLAN  
NTS